



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number OLT OPA 2- 2024

To Adopt Amendment Number ~~OP 2006~~ OLT OPA 2-2024
To the Official Plan of the City of Brampton Planning Area

The Council of the Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c.P.13, hereby ENACTS as follows:

1. Amendment Number OP 2006-_____ to the Official Plan of the City of Brampton Planning Area is hereby adopted and made part of this By-law.

Approved by the Ontario Land Tribunal on October 18, 2024 pursuant to Order No. OLT-24-000387 as amended and issued on November 22, 2024

ENACTED and PASSED this [enter date] day of [enter month], 2024.

<p>Approved as to form.</p> <p>2024/MM/DD</p>

Patrick Brown, Mayor

<p>Approved as to content.</p> <p>2024/MM/DD</p>
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Peter Fay, City Clerk

(OZS-2019-0006)

By-law Number _____ - 2024

AMENDMENT NUMBER ~~OP 2006~~ OLT OPA 2-2024

To the Official Plan of the
City of Brampton Planning Area

1.0 Purpose:

The purpose of this amendment is to amend Schedule 6 from the Brampton Flowertown Secondary Plan (SPA 6) to revise the land use designation from Service Commercial to High Density Residential.

The purpose of this amendment is to designate lands located within the Brampton Flowertown shown on Schedule 'A' to permit the development of a high-density residential building. This Official Plan Amendment is intended to maintain the Service Commercial (SC) designation and include permissions for high density residential.

2.0 Location:

The lands subject to this amendment are located on the south side of Clarence Street, west of Sterne Avenue, and east of Erlesmere Avenue in the City of Brampton. The subject property is a rectangular shaped parcel with a frontage of 40.1 meters along Clarence Street. The site has a gross site area of 0.34 hectares (0.84 acres) and is currently occupied by a single-story commercial building and surface parking with frontage onto Clarence Street. The lands are legally described as PT BLK A, PL 521 as in VS112747, City of Brampton.

3.0 Amendments and Polices Relative Thereto:

3.1 The document known as the Official Plan of the City of Brampton Planning Area is hereby amended:

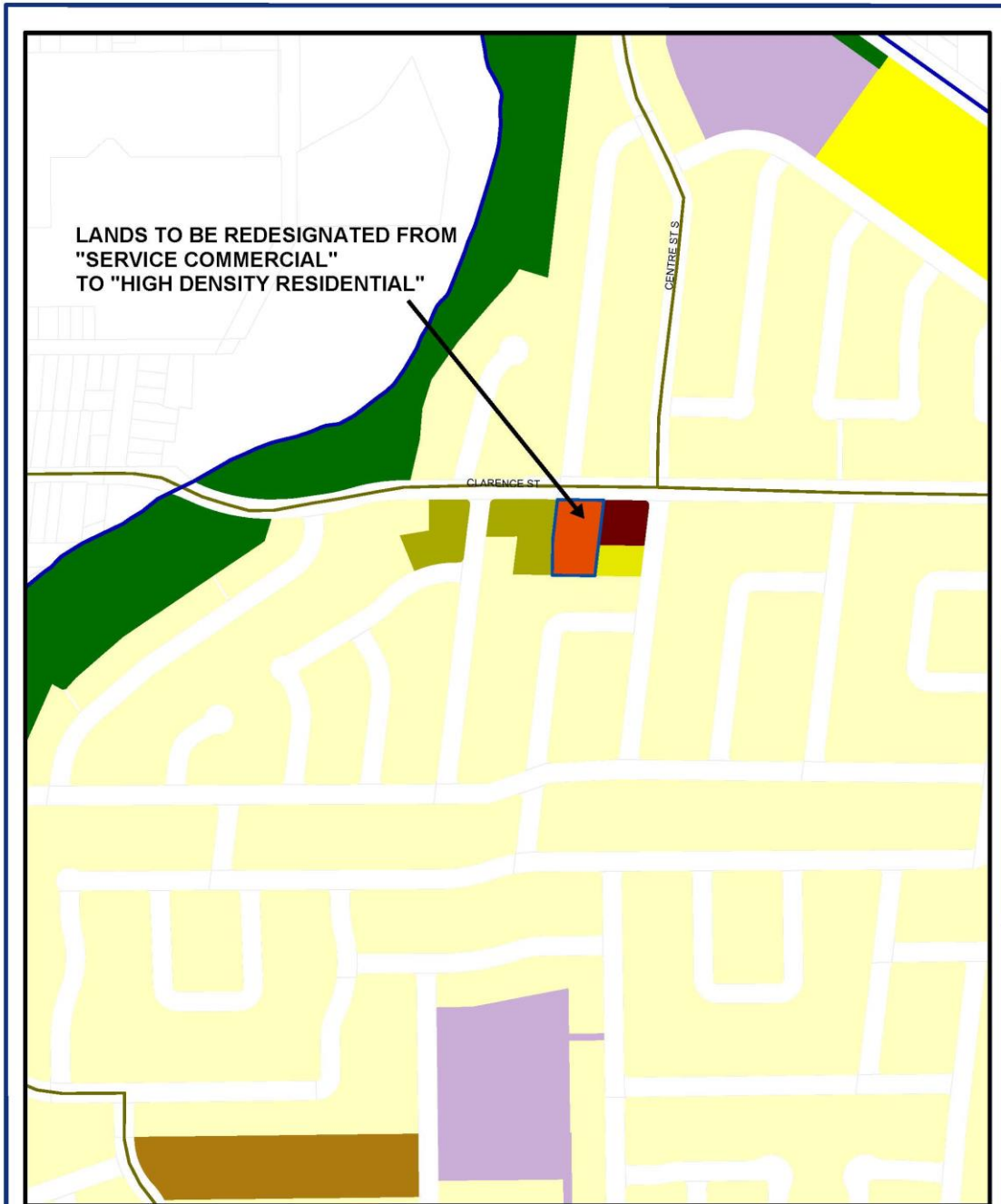
- 1. By amending to the list of amendments pertaining to the Secondary Plan Area Number 6: Brampton Flowertown Secondary Plan as set out in Part II: Secondary Plans, thereof, Amendment Number OP 2006 – _____.

3.2 The portions of the document known as the 2006 Official Plan of the City of Brampton Planning Area, which remain in force, as they relate to the Brampton Flowertown Secondary Plan (Being Part Two: Secondary Plan, as amended) are hereby further amended:

- 1. by adding, after policy 2.4.1 the following:
 - “2.4.2 Amending Schedule 6 of Brampton Flowertown Secondary Plan Area 6, of Part II: Secondary Plans, the land use designation of the lands outlined on Schedule 6 to this Amendment to include High Density Residential to the existing Service Commercial designation for lands located at 75 Clarence Street.”.
 - 2.4.3 “For lands designated Service Commercial located at 75 Clarence Street, a maximum density of 250 units per net hectare with a maximum building height of 30 Meters be permitted.”

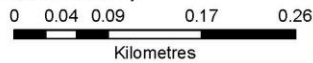
Approved as to Content:

Allan Parsons, MCIP, RPP
Director, Development Services and Design



EXTRACT FRMO SCHEDULE SPA 6 (A) OF THE DOCUMENT KNOWN AS BRAMPTON FLOWERTOWN SECONDARY PLAN

COMMERCIAL	RESIDENTIAL	INSTITUTIONAL	OPEN SPACE	ROADS
NEIGHBOURHOOD RETAIL	LOW DENSITY RESIDENTIAL	ELEMENTARY SCHOOL	NATURAL HERITAGE SYSTEM	COLLECTOR ROAD
DISTRICT RETAIL	MEDIUM DENSITY RESIDENTIAL	MIDDLE SCHOOL	RECREATION OPEN SPACE	MINOR ARTERIAL ROAD
CONVENIENCE RETAIL	MEDIUM/HIGH DENSITY RESIDENTIAL	SECONDARY SCHOOL	CEMETERY	MAJOR ARTERIAL ROAD
HIGHWAY COMMERCIAL	HIGH DENSITY RESIDENTIAL	GENERAL EMPLOYMENT 1	RAILWAY	PROVINCIAL HIGHWAY
SERVICE COMMERCIAL		PLACE OF WORSHIP	SPECIAL SITE AREA	
HIGHWAY AND SERVICE COMMERCIAL		INSTITUTIONAL	SPECIAL POLICY AREA	
	UTILITY	EMPLOYMENT	SUBJECT LANDS	
	UTILITY	GENERAL EMPLOYMENT 1		



SCHEDULE A TO OFFICIAL PLAN AMMEDEMENT OP2006# _____

OLT OPA 2-2024

BY-LAW _____ Page 136 of 194

Ontario Land Tribunal
Tribunal ontarien de l'aménagement du territoire



ISSUE DATE: November 22, 2024

CASE NO(S): OLT-24-000387

PROCEEDING COMMENCED UNDER subsection 22(7) of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended.

Applicant/Appellant: Soneil Brampton Inc.
Subject: Request to amend the Official Plan – Refusal of request
Description: To permit an eight-storey, 82-unit development with ground-floor retail
Reference Number: OZS-2019-0053
Property Address: 75 Clarence Street
Municipality/UT: Brampton/Peel
OLT Case No: OLT-24-000387
OLT Lead Case No: OLT-24-000387
OLT Case Name: Soneil Brampton Inc. v Brampton (City)

PROCEEDING COMMENCED UNDER section 34(11) of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended.

Subject: Application to amend the Zoning By-law – Refusal of application
Description: To permit an eight-storey, 82-unit development with ground-floor retail
Reference Number: OZS-2019-0053
Property Address: 75 Clarence Street
Municipality/UT: Brampton/Peel
OLT Case No: OLT-24-000388
OLT Lead Case No: OLT-24-000387

APPEARANCES:

<u>Parties</u>	<u>Counsel</u>
Soneil Brampton Inc. ("Appellant")	Max Reedijk Katarzyna Sliwa (<i>in absentia</i>)
City of Brampton ("City")	Bruce Engell

AMENDING DECISION OF THE TRIBUNAL DELIVERED BY ERIC S. CROWE

[1] In accordance with Rule 24.4 of the Tribunal's *Rules of Practice and Procedure*, whereby the Tribunal may at any time and without prior notice to the Parties correct a technical or typographical error made in a Decision or Order, the Decision and Order ("Decision") issued on October 18, 2024 is hereby amended, to remove the "DRAFT" watermark from the first page of Attachment 1, as now shown in the revised Attachment 1 herewith attached.

[2] In all other respects, the Tribunal's Decision remains the same.

"Eric S. Crowe"

ERIC S. CROWE
MEMBER

Ontario Land Tribunal

Website: www.olt.gov.on.ca Telephone: 416-212-6349 Toll Free: 1-866-448-2248

The Conservation Review Board, the Environmental Review Tribunal, the Local Planning Appeal Tribunal and the Mining and Lands Tribunal are amalgamated and continued as the Ontario Land Tribunal ("Tribunal"). Any reference to the preceding tribunals or the former Ontario Municipal Board is deemed to be a reference to the Tribunal.



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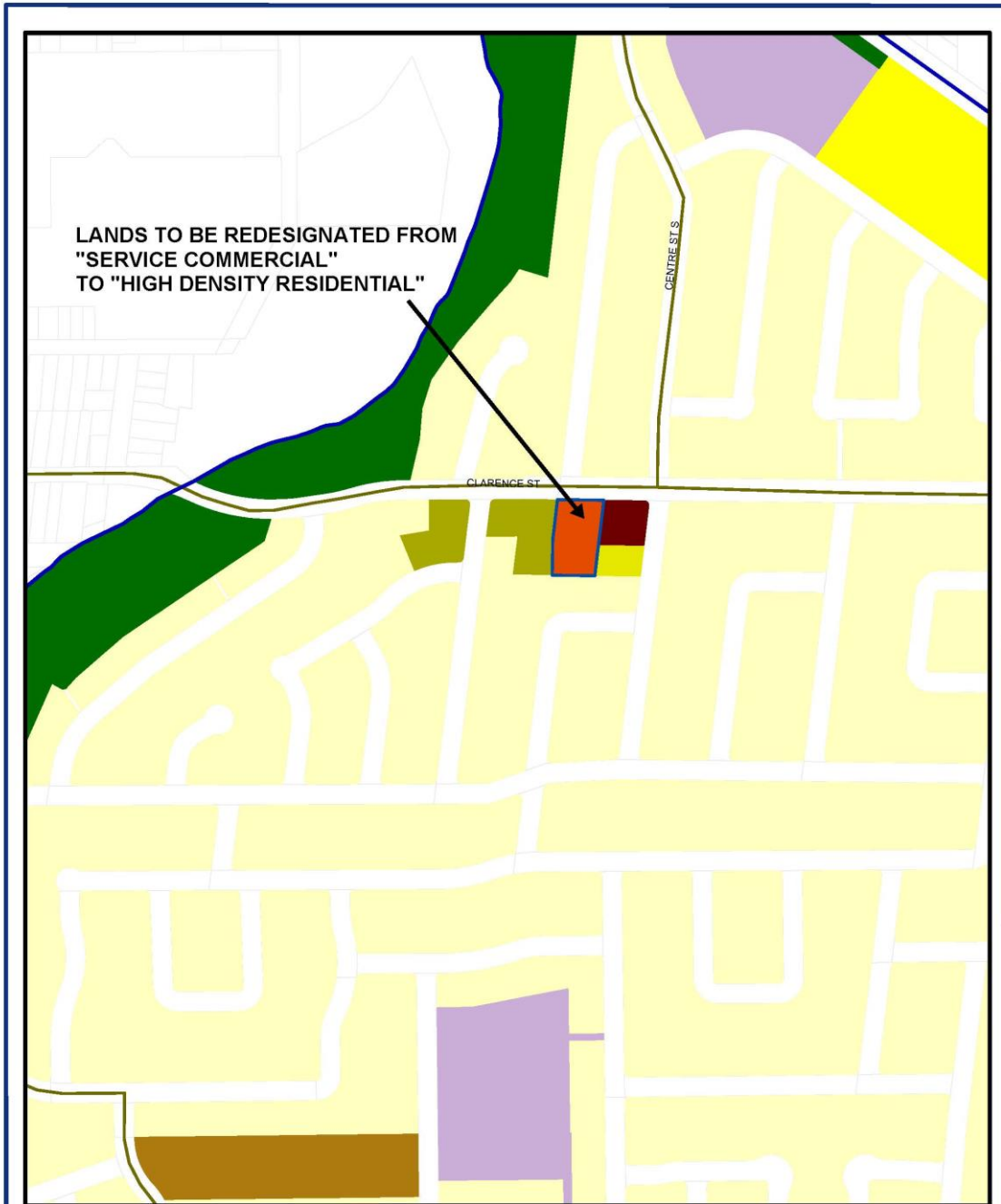
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COMMERCIAL	RESIDENTIAL	INSTITUTIONAL	OPEN SPACE	ROADS
<ul style="list-style-type: none"> NEIGHBOURHOOD RETAIL DISTRICT RETAIL CONVENIENCE RETAIL HIGHWAY COMMERCIAL SERVICE COMMERCIAL HIGHWAY AND SERVICE COMMERCIAL 	<ul style="list-style-type: none"> LOW DENSITY RESIDENTIAL MEDIUM DENSITY RESIDENTIAL MEDIUM-HIGH DENSITY RESIDENTIAL HIGH DENSITY RESIDENTIAL 	<ul style="list-style-type: none"> ELEMENTARY SCHOOL MIDDLE SCHOOL SECONDARY SCHOOL GENERAL EMPLOYMENT 1 PLACE OF WORSHIP INSTITUTIONAL 	<ul style="list-style-type: none"> NATURAL HERITAGE SYSTEM RECREATION OPEN SPACE CEMETERY RAILWAY SPECIAL SITE AREA SPECIAL POLICY AREA SUBJECT LANDS 	<ul style="list-style-type: none"> COLLECTOR ROAD MINOR ARTERIAL ROAD MAJOR ARTERIAL ROAD PROVINCIAL HIGHWAY
UTILITY <ul style="list-style-type: none"> UTILITY 		EMPLOYMENT <ul style="list-style-type: none"> GENERAL EMPLOYMENT 1 		

BRAMPTON
Flower City
brampton.ca

0 0.04 0.09 0.17 0.26
Kilometres

SCHEDULE A TO OFFICIAL PLAN AMMENDMENT OP2006# _____